

A MODIFIED BITUMEN ROOF REPLACEMENT FOR:

CITY OF OAK RIDGE WATER TREATMENT PLANT

1515 BEAR CREAK ROAD OAK RIDGE TENNESSEE 37830



PROJECT INFORMATION:

THE CITY OF OAK RIDGE
WATER TREATMENT PLANT
1515 BEAR CREAK ROAD
OAK RIDGE, TN 37830
865.425.1620

OAK RIDGE PROJECT NO. FY2014-31

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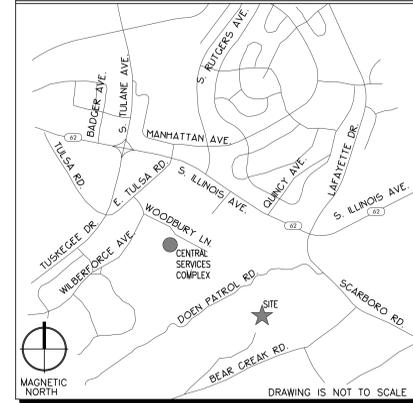
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PERSPECTIVE ARCHITECTURE PROJ. NO. 13008A

DRAWING LIST

CVR	COVER SHEET
A1.0	DEMOLITION PLAN
A1.1	ROOF PLAN
A1.2	ROOF DETAILS

VICINITY MAP



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TITLE COVER SHEET

REVISIONS

NUMBER CVR

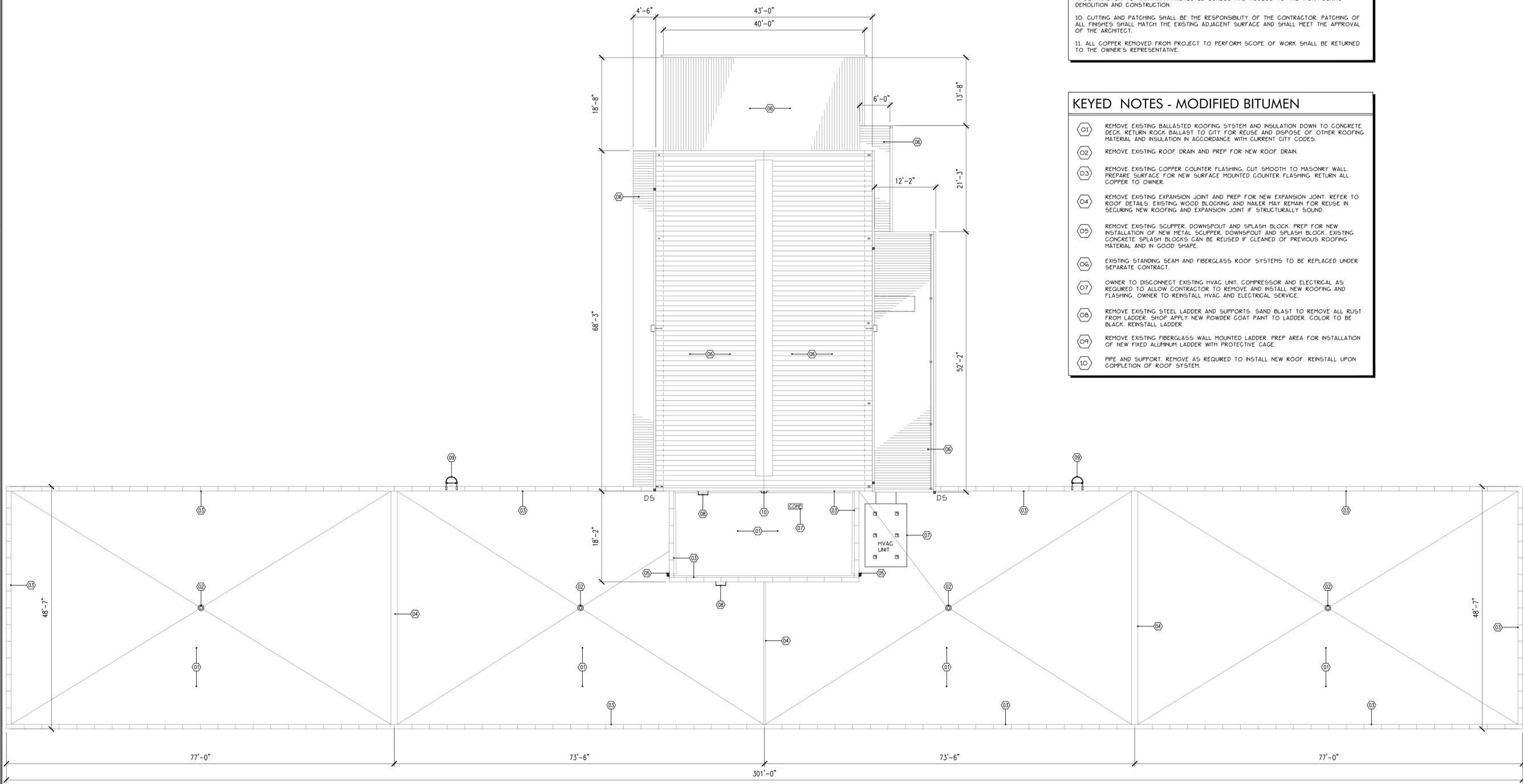


DEMOLITION NOTES

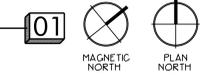
- CONTRACTOR TO VISIT THE SITE TO DETERMINE THE QUANTITY OF DEMOLITION WORK NEEDED TO PERFORM NEW WORK.
- ALL DIMENSIONS SHOWN ON THE DRAWINGS TO BE FIELD VERIFIED BEFORE START OF CONSTRUCTION AND ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DIRECTIVE BEFORE WORK IS PERFORMED.
- REMOVE CONSTRUCTION DEBRIS OFF SITE AND DISPOSE OF MATERIAL BY LEGAL MEANS.
- CONTRACTOR IS TO COORDINATE WITH OWNER'S REPRESENTATIVE ON THE REMOVAL, REPLACEMENT, AND /OR REUSE OF ANY EXISTING EQUIPMENT AND FIXTURES, BEFORE DEMOLITION.
- THE CONTRACTOR SHALL EXERCISE CAUTION WHEN PERFORMING DEMOLITION TO PREVENT THE SPREAD OF DUST AND DEBRIS AND TO PROTECT EXISTING MATERIALS AND EQUIPMENT FROM DAMAGE OR CONTAMINATION.
- CONTRACTOR TO PERFORM WORK SO AS TO MINIMIZE INTERFERENCE WITH BUILDING OCCUPANTS AND OPERATIONS. COORDINATE ANY BUILDING SYSTEM DISRUPTIONS WITH OWNER'S REPRESENTATIVE PRIOR TO OCCURRENCE.
- CONTRACTOR TO PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AND WEATHERPROOF ENCLOSURES AS NEEDED TO PROTECT EXISTING FINISHES AND EQUIPMENT NOT BEING DEMOLISHED.
- CONTRACTOR TO PREVENT MOVEMENT OF STRUCTURE BY PROVIDING BRACING OR SHORING AS REQUIRED TO PERFORM THE WORK.
- CONTRACTOR TO MAINTAIN A PROTECTED EGRESS AND ACCESS TO THE WORK DURING DEMOLITION AND CONSTRUCTION.
- CUTTING AND PATCHING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. PATCHING OF ALL FINISHES SHALL MATCH THE EXISTING ADJACENT SURFACE AND SHALL MEET THE APPROVAL OF THE ARCHITECT.
- ALL COPPER REMOVED FROM PROJECT TO PERFORM SCOPE OF WORK SHALL BE RETURNED TO THE OWNER'S REPRESENTATIVE.

KEYED NOTES - MODIFIED BITUMEN

01	REMOVE EXISTING BALLASTED ROOFING SYSTEM AND INSULATION DOWN TO CONCRETE DECK. RETURN ROCK BALLAST TO CITY FOR REUSE AND DISPOSE OF OTHER ROOFING MATERIAL AND INSULATION IN ACCORDANCE WITH CURRENT CITY CODES.
02	REMOVE EXISTING ROOF DRAIN AND PREP FOR NEW ROOF DRAIN.
03	REMOVE EXISTING COPPER COUNTER FLASHING. CUT SMOOTH TO MASONRY WALL. PREPARE SURFACE FOR NEW SURFACE MOUNTED COUNTER FLASHING. RETURN ALL COPPER TO OWNER.
04	REMOVE EXISTING EXPANSION JOINT AND PREP FOR NEW EXPANSION JOINT. REFER TO ROOF DETAILS. EXISTING WOOD BLOCKING AND NALER MAY REMAIN FOR REUSE IN SECURING NEW ROOFING AND EXPANSION JOINT IF STRUCTURALLY SOUND.
05	REMOVE EXISTING SCUPPER, DOWNSPOUT AND SPLASH BLOCK. PREP FOR NEW INSTALLATION OF NEW METAL SCUPPER, DOWNSPOUT AND SPLASH BLOCK. EXISTING CONCRETE, SPLASH BLOCKS CAN BE REUSED IF CLEANED OF PREVIOUS ROOFING MATERIAL AND IN GOOD SHAPE.
06	EXISTING STANDING SEAM AND FIBERGLASS ROOF SYSTEMS TO BE REPLACED UNDER SEPARATE CONTRACT.
07	OWNER TO DISCONNECT EXISTING HVAC UNIT, COMPRESSOR AND ELECTRICAL AS REQUIRED TO ALLOW CONTRACTOR TO REMOVE AND INSTALL NEW ROOFING AND FLASHING. OWNER TO REINSTALL HVAC AND ELECTRICAL SERVICE.
08	REMOVE EXISTING STEEL LADDER AND SUPPORTS. SAND BLAST TO REMOVE ALL RUST FROM LADDER. SHOP APPLY NEW POWDER COAT PAINT TO LADDER. COLOR TO BE BLACK. REINSTALL LADDER.
09	REMOVE EXISTING FIBERGLASS WALL MOUNTED LADDER. PREP AREA FOR INSTALLATION OF NEW FIXED ALUMINUM LADDER WITH PROTECTIVE CAGE.
10	PIPE AND SUPPORT. REMOVE AS REQUIRED TO INSTALL NEW ROOF. REINSTALL UPON COMPLETION OF ROOF SYSTEM.



DEMOLITION PLAN - WATER TREATMENT PLANT
SCALE: 1/8" = 1'-0"



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DATE: 07/23/13

TITLE: DEMOLITION PLAN

REVISIONS:

NUMBER	DESCRIPTION
A1.0	

GENERAL NOTES

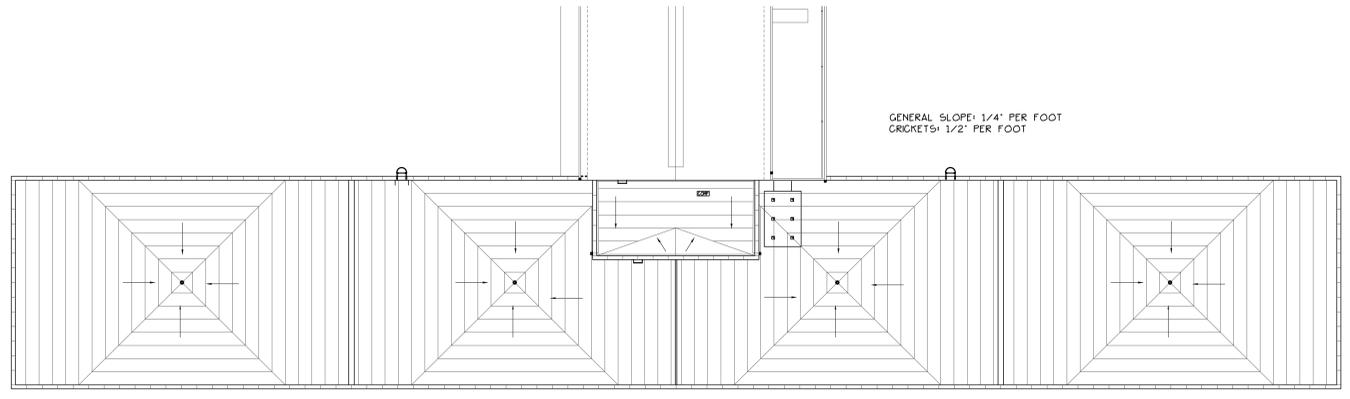
1. DIMENSIONS FOR EXISTING CONSTRUCTION ARE FROM FACE OF FINISH. CONTRACTOR TO VERIFY DIMENSIONS IN THE FIELD BEFORE STARTING WORK.

LEGEND

	EXISTING HVAC UNIT TO BE REMOVED BY OWNER DURING ROOFING AND REINSTALLED BY OWNER AS REQUIRED.
	EXISTING ROOF DRAIN TO BE REPLACED AND TIED INTO EXISTING ROOF DRAINAGE SYSTEM. FIELD VERIFY SIZE OF DRAIN.
	EXISTING FIBERGLASS ROOF LADDER TO BE REMOVED AND REPLACED WITH NEW STEEL LADDER AND CAGE
	EXISTING STEEL LADDER TO BE REMOVED, SAND BLASTED, NEW POWDER COATING PAINT APPLIED AND REINSTALLED.
	EXISTING HVAC ROOF COMPRESSOR TO REMAIN

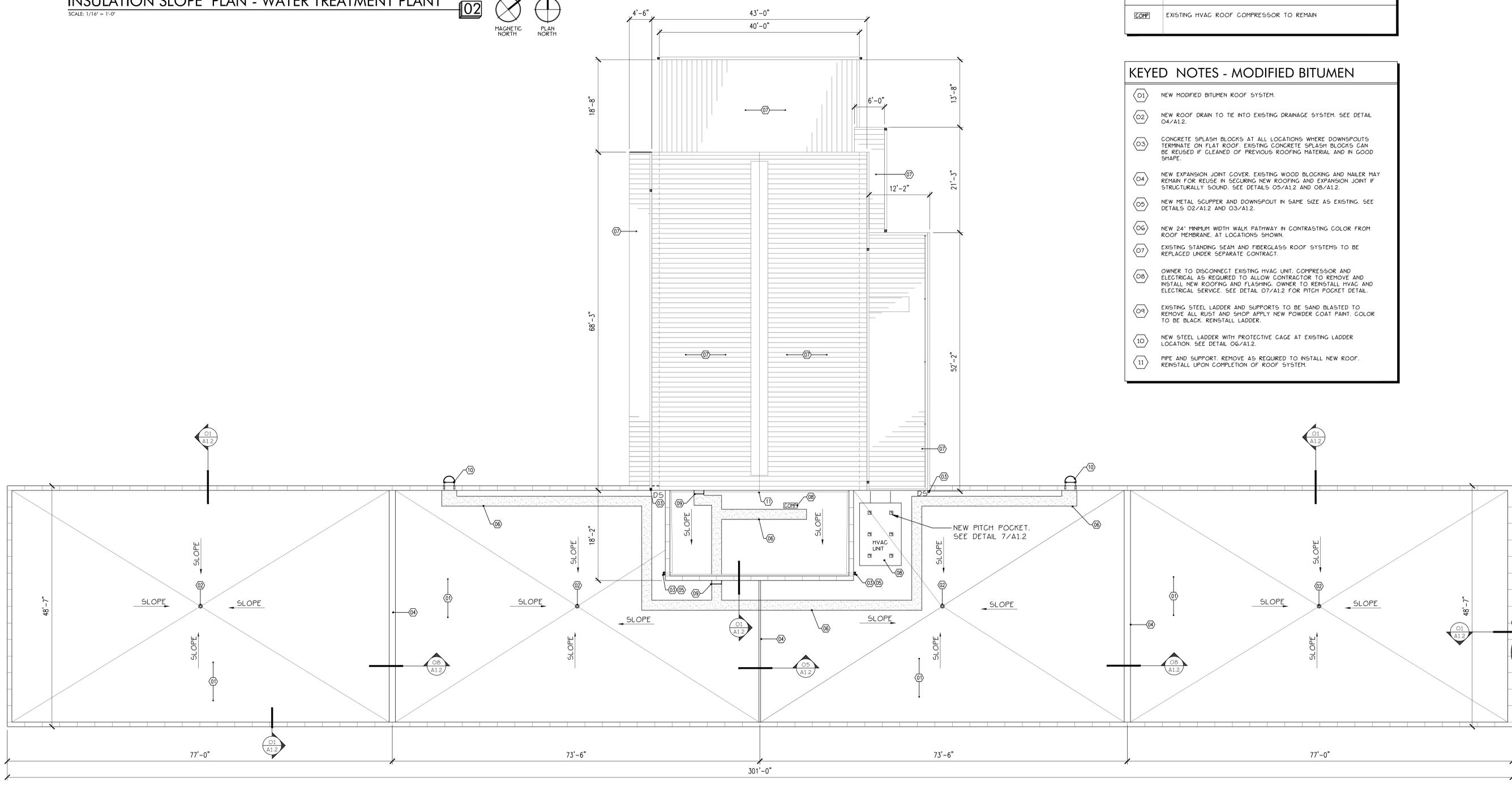
KEYED NOTES - MODIFIED BITUMEN

	NEW MODIFIED BITUMEN ROOF SYSTEM.
	NEW ROOF DRAIN TO TIE INTO EXISTING DRAINAGE SYSTEM. SEE DETAIL 04/A1.2.
	CONCRETE SPLASH BLOCKS AT ALL LOCATIONS WHERE DOWNSPOUTS TERMINATE ON FLAT ROOF. EXISTING CONCRETE SPLASH BLOCKS CAN BE REUSED IF CLEANED OF PREVIOUS ROOFING MATERIAL AND IN GOOD SHAPE.
	NEW EXPANSION JOINT COVER, EXISTING WOOD BLOCKING AND NAILER MAY REMAIN FOR REUSE IN SECURING NEW ROOFING AND EXPANSION JOINT IF STRUCTURALLY SOUND. SEE DETAILS 05/A1.2 AND 08/A1.2.
	NEW METAL SCUPPER AND DOWNSPOUT IN SAME SIZE AS EXISTING. SEE DETAILS 02/A1.2 AND 03/A1.2.
	NEW 24" MINIMUM WIDTH WALK PATHWAY IN CONTRASTING COLOR FROM ROOF MEMBRANE, AT LOCATIONS SHOWN.
	EXISTING STANDING SEAM AND FIBERGLASS ROOF SYSTEMS TO BE REPLACED UNDER SEPARATE CONTRACT.
	OWNER TO DISCONNECT EXISTING HVAC UNIT, COMPRESSOR AND ELECTRICAL AS REQUIRED TO ALLOW CONTRACTOR TO REMOVE AND INSTALL NEW ROOFING AND FLASHING. OWNER TO REINSTALL HVAC AND ELECTRICAL SERVICE. SEE DETAIL 07/A1.2 FOR FITCH POCKET DETAIL.
	EXISTING STEEL LADDER AND SUPPORTS TO BE SAND BLASTED TO REMOVE ALL RUST AND SHOP APPLY NEW POWDER COAT PAINT, COLOR TO BE BLACK. REINSTALL LADDER.
	NEW STEEL LADDER WITH PROTECTIVE CAGE AT EXISTING LADDER LOCATION. SEE DETAIL 06/A1.2.
	PIPE AND SUPPORT, REMOVE AS REQUIRED TO INSTALL NEW ROOF. REINSTALL UPON COMPLETION OF ROOF SYSTEM.



INSULATION SLOPE PLAN - WATER TREATMENT PLANT
 SCALE: 1/16" = 1'-0"

 MAGNETIC NORTH
 PLAN NORTH



ROOF PLAN - WATER TREATMENT PLANT
 SCALE: 1/8" = 1'-0"

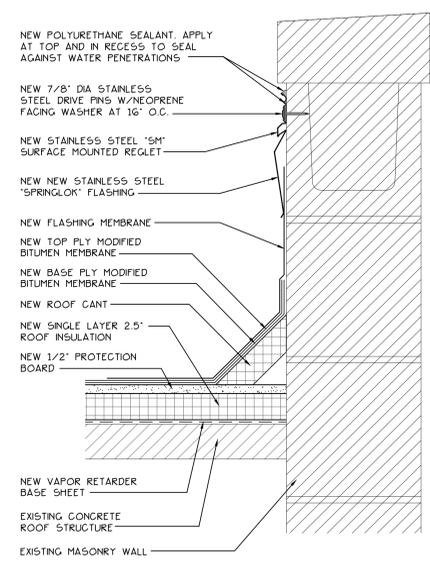
 MAGNETIC NORTH
 PLAN NORTH

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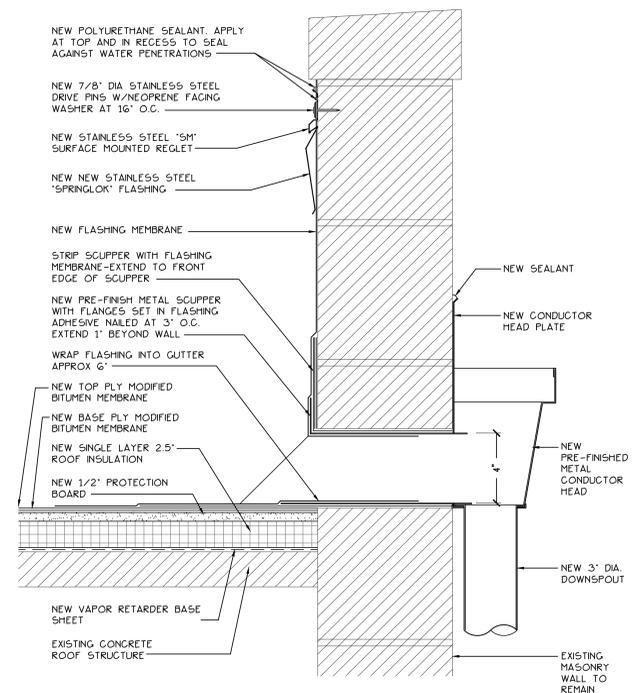


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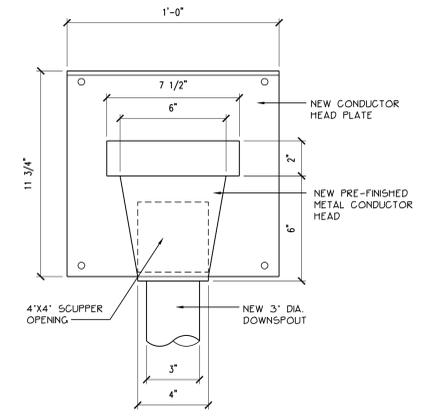
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TITLE	ROOF PLAN
REVISIONS	
NUMBER	A1.1



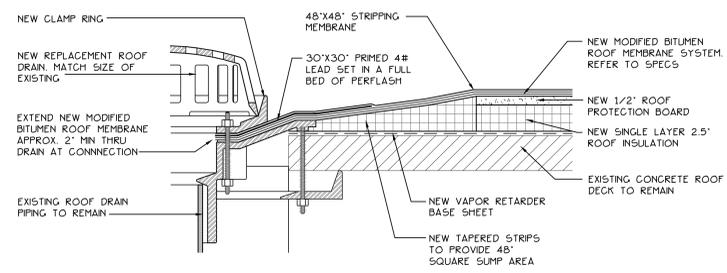
ROOF / WALL TRANSITION DETAIL 01
 SCALE: 3" = 1'-0"



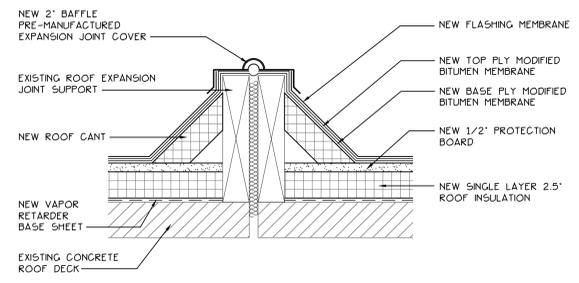
WALL SCUPPER SECTION 02
 SCALE: 3" = 1'-0"



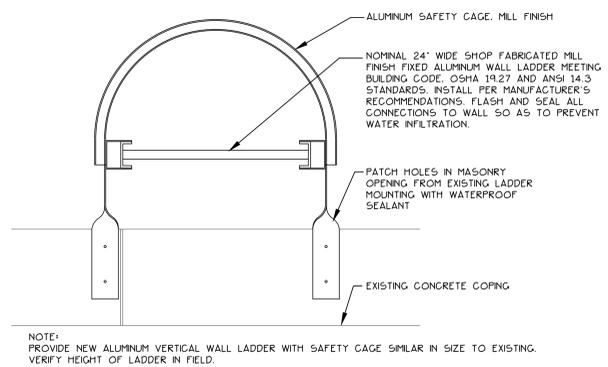
WALL SCUPPER ELEVATION 03
 SCALE: 3" = 1'-0"



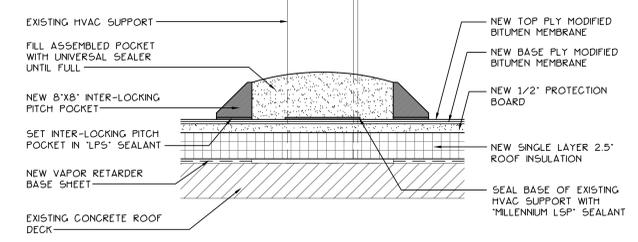
ROOF DRAIN DETAIL 04
 SCALE: 3" = 1'-0"



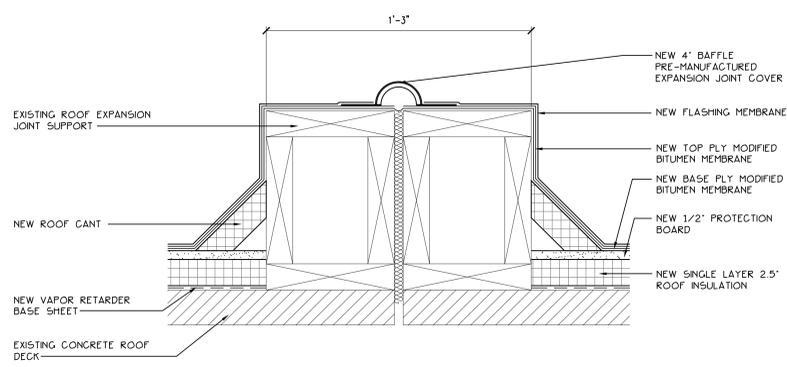
ROOF EXPANSION JOINT DETAIL 05
 SCALE: 3" = 1'-0"



ROOF LADDER DETAIL 06
 SCALE: 1-1/2" = 1'-0"



ROOF PITCH POCKET DETAIL 07
 SCALE: 3" = 1'-0"



ROOF EXPANSION JOINT DETAIL 08
 SCALE: 3" = 1'-0"

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